

City of Nanaimo
REPORT TO COUNCIL

DATE OF MEETING: 2013-NOV-4

AUTHORED BY: GARY NOBLE, DEVELOPMENT APPROVAL PLANNER
PLANNING & DESIGN SECTION

RE: DEVELOPMENT VARIANCE PERMIT NO. DVP219 - 200 2980 ISLAND HIGHWAY N

STAFF RECOMMENDATION:

That Council direct staff to proceed with the required Statutory Notification for Development Variance Permit No. DVP219 at 200 2980 ISLAND HIGHWAY N.

PURPOSE:

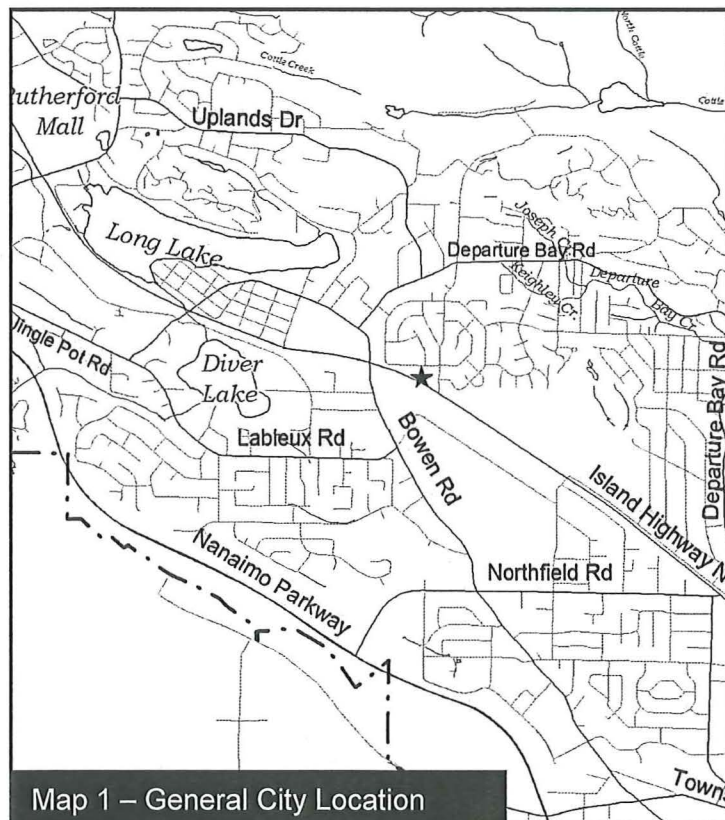
The purpose of this report is to seek Council authorization to vary the provisions of the City of Nanaimo "SIGN BYLAW 1987 NO. 2850", in order to permit a rooftop sign.

BACKGROUND:

A development variance permit application was received from Mr. Peter Lovick (PJ LOVICK ARCHITECTS LTD.), on behalf of CASTERA INVESTMENTS INC., to vary the provisions of the City of Nanaimo "SIGN BYLAW 1987 NO. 2850", to permit a fascia sign to project above a roof line on a new parapet detail.

The existing Tim Hortons building at the Rock City Plaza is undergoing a façade upgrade. An existing fascia sign is being located on the new parapet which extends above the existing parapet or roof line of the building.

Statutory Notification must take place prior to Council's consideration of the approval of the variance.



Map 1 – General City Location

Subject Property

The subject property is within an established commercial shopping area (Rock City Plaza), which backs on to an established residential area. The subject property is bordered by the Island Highway North, Rock City Road and Glen Eagle Crescent (See 'Map 1 – General City Location' and Map 2 – Subject Property Location).

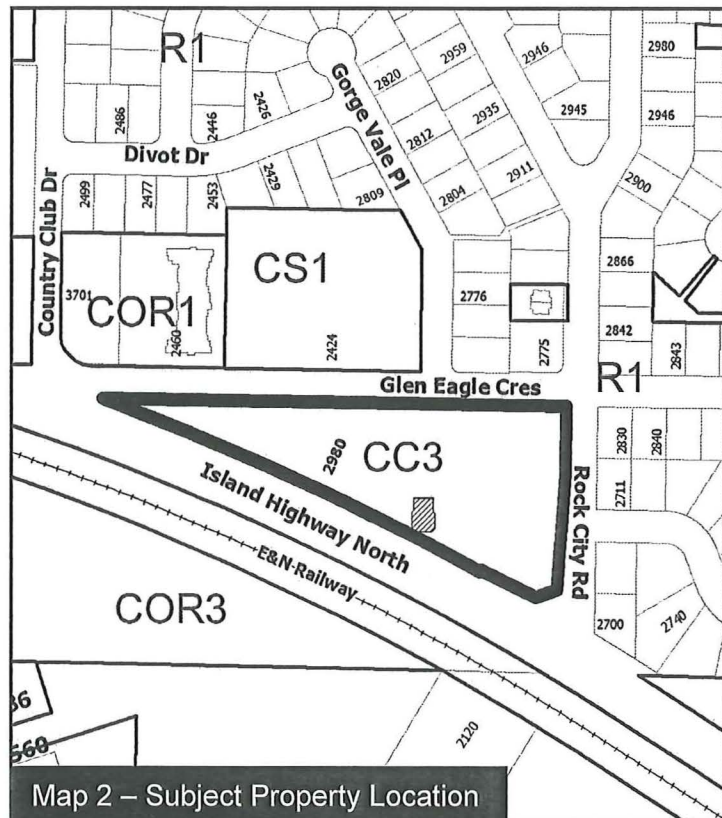
Tim Hortons is located in an existing pad building which is located mid-site and fronts the Island Highway on the Plaza site.

DISCUSSION:

Proposed Development

The applicant is supervising a façade upgrade to the existing Tim Hortons building. The corporation routinely upgrades building facades in order for their franchises to maintain their corporate "Always Fresh" identity.

In this façade upgrade, the architecture of the front building elevation which faces the Island Highway has been changed by increasing the height of the parapet approximately 1.49 m above the building's roof line (existing parapet). Where the parapet has been increased, the building façade has been faced with a fiber/cement/stone panel.



The applicant views the new parapet as an architectural feature.

The sign bylaw defines an architectural feature as a vertical projection of the building façade that extends above the roof line of the building and is an integral part of the building's façade, and may include an entrance canopy. In Staff's opinion, the raised parapet is not an integral part of the building façade, nor the building design. The parapet is seen as a unique feature to the façade upgrade, and is not featured on any other building elevations. The façade upgrade is simply a replacement of an old metal parapet finish with a fiber/cement siding. The building style is of a simple rectangular box with a wall face that primarily consists of brick and finished with a detailed parapet. A raised parapet is not featured on the other building elevations.

The Design Rationale along with the supporting Site Plan and Elevations are provided as Attachment A.

Required Variances

- The City of Nanaimo "SIGN BYLAW 1987 NO. 2850", permits fascia signage located on an architectural feature on a façade of a building where it projects a maximum 1.2 m above the roof line of the building.

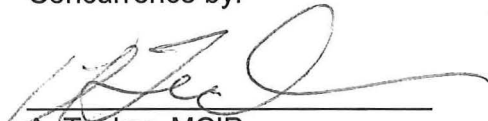
The proposed fascia sign is not located on an architectural feature and extends 1.1 m above the building roof line.

Respectfully submitted,



B. Anderson, MCIP
MANAGER
PLANNING & DESIGN SECTION

Concurrence by:



A. Tucker, MCIP
DIRECTOR
PLANNING



T. Seward
ACTING GENERAL MANAGER
COMMUNITY SAFETY & DEVELOPMENT

CITY MANAGER COMMENT:

I concur with the staff recommendation.

*Drafted: 2013-OCT-25
Prospero attachment: DVP00219
GN/lb*

P J LOVICK
ARCHITECT LTD.

18 October 2013

City of Nanaimo
455 Wallace Street
Nanaimo, B.C.
V9R 5J6

Attention: Gary Noble, RPP, Development Approval Planner

Re: **Tim Hortons – Restaurant, 2980 Island Hwy., Nanaimo, B.C.**

DESIGN RATIONALE

The subject building is an existing Tim Hortons Restaurant located at 2980 Island Highway. It presently has a low profile fascia that extends only a few inches above the roof level. Tim Hortons is presently engaged in a Canada wide rebranding/upgrade program that provides a new interior and exterior design that has been created specifically for each region. This building has recently gone through these design changes but our signage approval has inadvertently lagged behind the Building Permit approval and construction schedule.

We now have a newly renovated façade with a large feature wall clad in fiber cement stone paneling that extends approximately 4 ft. – 6 in. above the roof line. This new design also features striped awnings over the windows, and a decorative metal band running horizontally above the awnings.

Both of these features are dramatically illuminated by goose neck light features that are centered over each window. The final piece of the design is of course the traditional ‘Tim Hortons’ red lettering signage. In the combination described above, and reusing the existing signage, the top of the sign will be approximately 3 ft. – 8 in. above the roof line.

The new fascia line transforms the building, and gives it a much improved appearance, especially in relation to the neighboring buildings in the plaza. This feature wall will also provide a partial screen for the roof top equipment. However, if we install the sign as per the sign by-law i.e.: below the roof line, we would need to delete the awnings, the decorative metal band and the gooseneck lighting. In doing this we would have a large expanse of fascia with no features, and a total loss of the intended effect of the new design.

.../2

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Design Rationale
Tim Hortons – 2980 Island Highway

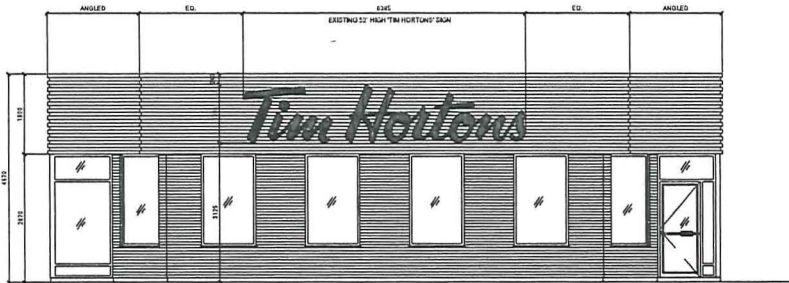
The proposed location for the sign is really the only highly visible location when you consider the surrounding traffic patterns. We now understand that this new design will require a variance to the current City of Nanaimo signage by-laws. It is unfortunate that the construction was complete prior to us realizing the significance of the restrictions in the building by-law.

We are requesting the City's consideration of the situation we are in and would request a Development Variance Permit. Please see the enclosed front elevation showing the proposed new feature wall with the signage described above.

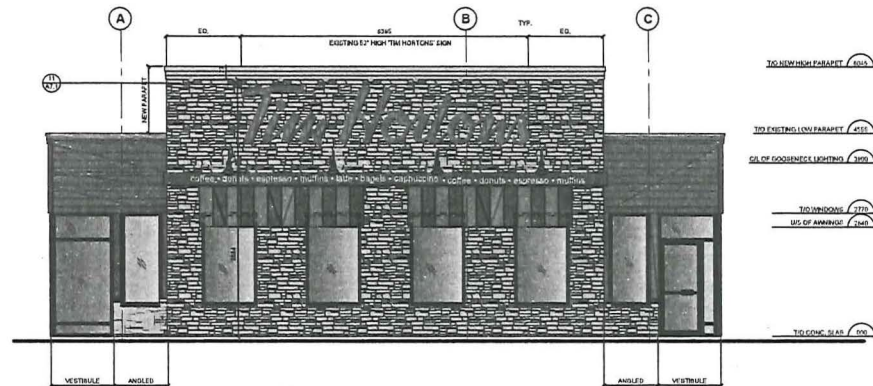
Yours truly,
PJ LOVICK ARCHITECT LTD.



Peter J. Lovick, AIBC, CP, MPAIC, RAAC, SAA
PJJ/SP



1 FRONT ELEVATION - EXISTING
SCALE = 1:50



2 FRONT ELEVATION - PROPOSED
SCALE = 1:50



1 - VIEW OF FRONT ELEVATION (SOUTH SIDE)



2 - VIEW OF SOUTH EAST SIDE



3 - VIEW OF SOUTH WEST SIDE



4 - VIEW OF PARKING LOT LOOKING EAST



5 - VIEW OF ISLAND HIGHWAY LOOKING SOUTH



6 - VIEW OF PARKING LOT LOOKING WEST

3 EXISTING PHOTOS



5 DESIGN RATIONALE

TIM HORTONS' UNPARALLELED COMMITMENT TO SERVICE THE COMMUNITY AND ITS LOYAL CUSTOMERS, BY CONTINUALLY UPGRADING ITS FACILITIES TO HAVE THE "ALWAYS FRESH" LOOK.

WITH THIS LATEST RENOVATION, NEW STONE AND ADDITIONAL COLOUR WERE ADDED TO THE FACADE OF THE EXISTING BUILDING TO HAVE A NEW ARCHITECTURAL FEATURE. WE HAVE ALSO INCREASED THE HEIGHT OF THE PARAPET TO INCORPORATE THE SIGN BAND AND GOOSENECK LIGHTING.

ISSUE TABLE		
No.	Date (month/year)	Description
1	06/12/13	CHECKSET REVIEW
2	06/03/13	ISSUED FOR BLDG. PERMIT
3	06/23/13	ISSUED FOR TENDER
4	06/16/12	ISSUED FOR CONSTRUCTION
5	06/21/13	ISSUED FOR SIGNAGE OVP

REVISIONS		
No.	Date	Description

DRAWINGS REVISED AS PER DESIGN BULLETIN		
No.	Date	Description
01	10-07	-

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON THE SITE

P. PLOWICK
ARCHITECT LTD

3707 1st AVENUE
BURNABY, BRITISH COLUMBIA
V5C 3V6 E-MAIL: pplowick@pplowick.com
tel: 604-298-3700 fax: 604-298-6081

Member of the AIBC Member of the SAA
Member of the RAC Member of the AAA
Certified Professional Architectural Draft

Project
Tim Hortons

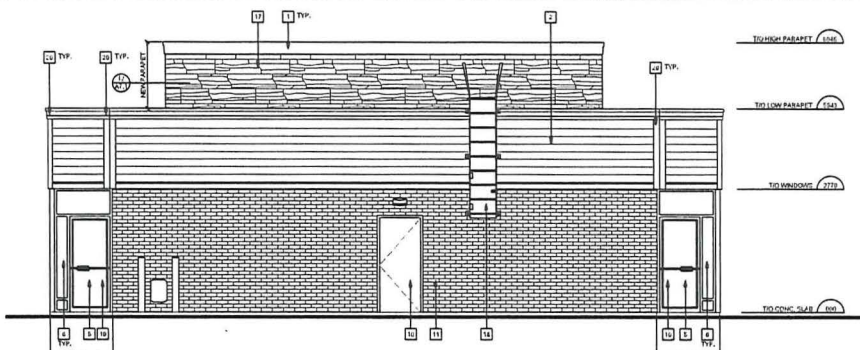
Store Type
MODEL 2600

Location
RESTAURANT #100463
RN. #.00711
2980 ISLAND HIGHWAY N.
NANAIMO, BC

Drawing Title
PROPOSED COLOR
ELEVATION
& EXISTING PHOTOS

Drawn	Checked	P.J.L.
EH		
Scale	1:50	Date
		AUGUST 2013
Project No.	# 100463	Drawing No.
		A5.2

TIM HORTONS 2980 ISLAND HIGHWAY N. NANAIMO, B.C., ISSUED FOR CONSTRUCTION (16 SEPT. 2013) TDL NO. 100463



4 BACK ELEVATION
SCALE = 1:10

GENERAL NOTES

- CONTROL JOINTS AND VERTICAL JOINTS TO BE CALLED TO MATCH NEARBY COLOUR. REDWOOD (TRIMMED DIMENSIONS)
- CAULK AROUND HOLLOW METAL DOOR FRAMES AT EXTERIOR COLOUR TO MATCH MOUREL. REDWOOD (TRIMMED DIMENSIONS)
- CAULK BETWEEN VERTICAL JOINT AT ACRYLIC STUCCO FINISH TO MATCH ACRYLIC STUCCO COLOUR. ROYAL TERRAZZO. BUSHING BUSH.
- CAULK BETWEEN WINDOW FRAME AND BRICK VENEER. COLOUR 1 TO MATCH CLEAR ANODIZED FRAMES (TRIMMED DIMENSIONS)

SYMBOL LEGEND

- ELECTRICAL NUMBER
- DESTRUCTIVE NUMBER
- NOTE REFERENCE
- REFER TO ELEVATION NOTES
- AWNING TYPE
- DECORATIVE BAND TYPE

ALL AWNINGS ARE TO INCLUDE A 1mm H x 1mm W CONTINUOUS GUTTER ALONG THE BOTTOM

AWNINGS

TYPE	SIZE	QUANTITY
AT1	1800mm x 900mm	2

DECORATIVE BANDS

TYPE	LENGTH	QUANTITY
BT1	1800mm x 300mm	1

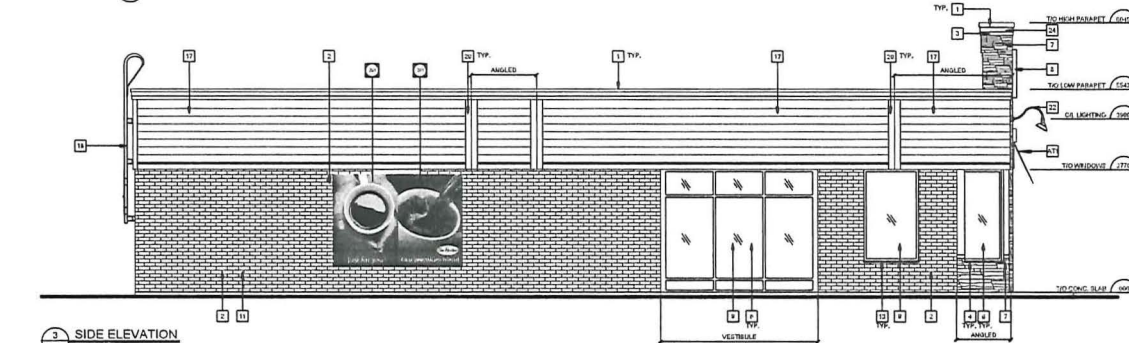
TDL APPROVED SUPPLIERS:
STEEL AWING CONTACT: PETER DAVIDSON
1000 474-1811 EXT. 251
pda@pdaconsult.com

MASONRY/MORTAR SPEC.

- THE MORTAR COLOURING BY ELEMENTS PROVIDE. SEE FINISH SCHEDULE AS
- THE SPECIFICATIONS OF THE COLOURS MANUFACTURER ARE TO BE FOLLOWED.
- ALL BRICK JOINTS ARE TO BE RAKED 1/2" DEEP.
- ALL BRICK MORTAR IS TO BE COLOURED AS SPECIFIED.
- MASONRY WORK SHALL NOT PROCEED WITHOUT PRIOR APPROVAL OF TOL CORP.
- ANY BRICK MASONRY WHICH DOES NOT MATCH THE APPROVED SPECIFICATION WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH AND FOLLOW ALL DRAWINGS AND SPECIFICATIONS.

EXTERIOR ELEVATION NOTES

- 1 PREFINISHED METAL FLASHING. REFER TO EXTERIOR FINISH SCHEDULE.
- 2 EXISTING BRICK TO REMAIN.
- 3 NEW BUILT UP PARAPET.
- 4 FLASHING SHALL REFER TO EXTERIOR FINISH SCHEDULE FOR COLOUR.
- 5 EXISTING ROOFING AND FRAMES TO REMAIN.
- 6 EXISTING GUTTER AND FRAMES TO REMAIN.
- 7 HIGH-MAINTENANCE STONE FINISHING. REFER TO EXTERIOR FINISH SCHEDULE FOR COLOUR.
- 8 (NOT A/C) HIGH ILLUMINATED SKIN MOUNTED ON FIBER CEMENT STONE. CONFIRM WITH TOL GROUP CORP. FOR SIZE AND SASH PACKAGE.
- 9 EXISTING GLAZING & FRAMES TO BE ELECTROSTATICALLY PAINTED MATCH BENJAMIN MOORE MIDDLEBURY HC-14. REFER TO SHEET A11.
- 10 EXISTING ROOF & FRAMES TO BE ELECTROSTATICALLY PAINTED MATCH BENJAMIN MOORE MIDDLEBURY HC-14. REFER TO SHEET A11.
- 11 CENTERING ACCESS BRICK TO BE STAINED TO MATCH BENJAMIN MOORE MIDDLEBURY BROWN HC-14. REFER TO EXTERIOR FINISH SCHEDULE.
- 12 BARRIER FREE DOOR OPERATOR SWITCH LOCATION. REFER TO ELECTRICAL DRAWINGS. COORDINATE LOCATION OF AUTOMATIC DOOR OPERATOR AND PUSH BUTTONS. SUPPLY TOL. TOL. HIGH PUSH BUTTONS AND ACTUATORS SUPPLIED BY TOL. INSTALLED AND WIRING BY G.C. REFER TO DETAIL 300.
- 13 EXISTING WINDOW SILL TO REMAIN.
- 14 N/A.
- 15 N/A.
- 16 N/A.
- 17 N/A.
- 18 FIBER CEMENT SIDING. REFER TO DETAIL SHEETS & EXTERIOR FINISH SCHEDULE.
- 19 EXISTING ROOF ACCESS LADDER TO REMAIN. PAINT TO MATCH NEW PARAPET FLASHING.
- 20 N/A.
- 21 FIBER CEMENT TRIM. REFER TO DETAIL SHEETS & EXTERIOR FINISH SCHEDULE.
- 22 N/A.
- 23 BUSHING LIGHTING. REFER TO ELECTRICAL DRAWINGS. PROVIDE 100mm x 100mm FIBER CEMENT TRIM AT JUNCTION BOX ONLY AT SIDING LOCATION.
- 24 CORNACOLD CORNICE BAND. REFER TO EXTERIOR FINISH SCHEDULE.
- 25 DECORATIVE BAND BY BRICK COMPANY MOUNTED ON THE WALL. SUPPLIED & INSTALLED BY G.C. REFER TO DECORATIVE BAND SCHEDULE.
- 26 PREFINISHED AWING BY BRICK COMPANY SUPPLIED & INSTALLED BY G.C. REFER TO AWING SCHEDULE G.C. TO SUPPLY SOUD WOOD BLOCKING AS REQUIRED.



3 SIDE ELEVATION
SCALE = 1:10

EXTERIOR FINISH SCHEDULE

PRODUCT	MANUF.	TYPE & COLOUR	SUPPLIER/CONTACT
PREFINISHED METAL FLASHING	FIRESTONE	FLASHING AT EXISTING AND NEW LOW PARAPETS. COLOUR: MIDDLEBURY BROWN. FLASHING AT HIGH PARAPETS. COLOUR: 'SEBIA TAN'. FLASHING AT LAP JOINTS. COLOUR: 'DEEP FOREST'. FLASHING AT STONE BASE. COLOUR: 'SEBIA TAN'.	CONTACT: CHS HANDE. TELEPHONE: 1-800-354-4246
FIBER CEMENT SIDING	NICHIA	'SEBIA' PEEL-AND-STICK H = 1500mm L = 2500mm THICKNESS = 12mm TOUCHUP PAINT: 'SEBIA' MOORE - K281-08 'DEEP FOREST'	CONTACT: JIM WILLETTE. TELEPHONE: 1-816-875-3973 FAX: 1-716-886-8447
FIBER CEMENT TRIM	NICHIA	'NICHIA' - BROWN H = 1500mm L = 3000mm THICKNESS = 12mm TOUCHUP PAINT: 'SEBIA' MOORE - K281-08 'DEEP FOREST'	PRODUCT DETAILS & SPEC'S FOUND AT: WWW.NICHIA.COM/CANADA/INT
FIBER CEMENT STONE	NICHIA	'NICHIA' - BROWN H = 1500mm L = 1500mm THICKNESS = 12mm	
CORNICE BAND	CORNACOLD	CORNICE BAND STAIN AT LAP JOINTS. COLOUR: 'DEEP FOREST'. AT STONE BASE. COLOUR: 'SEBIA TAN'. PAINT: 'SEBIA' MOORE - K281-08 'DEEP FOREST'	CUSTOMER SERVICE - 1-800-354-4246
ACRYLIC STUCCO FINISH	DEMANDIT	COLOR TO MATCH BENJAMIN MOORE HC-14 MIDDLEBURY BROWN. TEXTURE: MATCH EXISTING	
ACRYLIC STUCCO OUTSIGHTING	DRYVIT SYSTEMS	COLOR TO MATCH BENJAMIN MOORE HC-14 MIDDLEBURY BROWN. TEXTURE: MATCH EXISTING	DRYVIT SYSTEMS CANADA LTD. 1-800-461-4206
DECORATIVE BRICK BAND	STEELEART	PER-APPROVED SPECIFICATIONS BY TDL	STEELEART - (416) 474-1979
AWNING	TM CANADA	SUBSTRATE: PAINT-FLEX 180 GPO. ENVIRONMENTAL VINYL FILM. ACTIVATE STRIPPING TO REMOVE GLOSS BY COLOUR 772-63 & 772-14. ROOF WITH GPO MATTE FINISH COATING. FRAME: ALUMINUM WELDED FRAME PAINTED TO MATCH CLEAR ANODIZED FRAMES. INSTALLED WITH ALUMINUM "C" BRACKETS TO BUILDING FACADE.	
BRICK STAIN	HUNSWAY	'HUNSWAY' BRICK STAIN COLOUR: MIDDLEBURY BROWN. 'FIELD BRICK STAIN' COLOUR: 'TOL CAMEL'. 'MORTAR BRICK STAIN' COLOUR: 'MORTAR BRICK STAIN' COLOUR TREATMENT.	BOB BERTHOUD 1-800-543-7423 EXT. 21
CAULKING	FRANKLIN INTERNATIONAL	CAULKING TO MATCH MIDDLEBURY BROWN #W421 CAULKING TO MATCH 'SEBIA TAN' #W421 CAULKING TO MATCH 'DEEP FOREST' #W421	CUSTOMER SERVICE - 1-800-354-4246
METAL PAINT	BENJAMIN MOORE	ALL METAL PAINT TO BE 'SEBIA' MIDDLEBURY BROWN #P-28. 24HR GLOSS FINISH WITH 2 FINISH COATS.	

ISSUE TABLE

No.	Date	Description
8	DATE	DESCRIPTION
1	04/21/13	CHECKSET REVIEW
2	04/11/13	ISSUED FOR BLDG. PERMIT
3	04/23/13	ISSUED FOR TENDER
4	04/16/13	ISSUED FOR CONSTRUCTION
5	04/23/13	ISSUED FOR CHANGE DVP

REVISIONS

No.	Date	Description
9	DATE	DESCRIPTION

DRAWINGS REVISED AS PER DESIGN BULLETIN

No.	Date	Description
01	14-07	-

ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED ON THE SITE

Architect:
P. ILOVICK ARCHITECT LTD
3707 1st AVENUE
BURNABY, BRITISH COLUMBIA
V5C 3V6 E-MAIL: p.lovick@p.lovick.com
tel: 604-298-3700 fax: 604-298-6081
Member of the ABC Member of the SAA
Member of the RAC Member of the AIA
Certified Drafting/Design Architectural Firm

Project:
Tim Hortons

Store Type: **MCCEL 2600**

Location:
**RESTAURANT #100463
RN. # 00711
2980 ISLAND HIGHWAY N.
NANAIMO, BC**

Drawing Title:
EXTERIOR ELEVATIONS

Drawn: EH	Checked: P.J.L.
Scale: 1:50	Date: AUGUST 2013
Project No.: # 100463	Drawing No.: A5.1